

FINAL LAND DEVELOPMENT PLAN
FOR
601 EAST MAIN STREET
EAGLE BUILDING SOLUTIONS - NEW BUILDINGS
BOROUGH OF LITITZ - LANCASTER COUNTY - PENNSYLVANIA



© 2025

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE LITTLIZ ENOUGH SUPERVISION AND LAND DEVELOPMENT ORDINANCE.

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STOREWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN ACCORDANCE WITH THE LATEST APPLICABLE REGULATORY MANAGEMENT CONFORMANCE

REVIEWED BY THE LITIZ ENOUGH ENGINEER THIS _____ DAY OF _____ 2023.

AT A MEETING HELD ON JULY 25, 2023, THE LITIZ BOROUGH COUNCIL APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE BOROUGH COUNCIL IN FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF THE LITIZ BOROUGH SUBDIVISION AND LAND

• _____

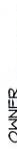
• _____

AT A MEETING HELD ON JULY 5, 2025, THE LITITZ BOMBOUGH PLANNING COMMISSION REVIEWED THIS PLAN AND A COPY OF THE REVIEW COMMENTS IS ON FILE IN THE BOMBOUGH OFFICE.

LANDOWNER ACKNOWLEDGEMENT OF STORMWATER FACILITIES
THE LANDOWNER ACKNOWLEDGES THE EXISTENCE OF STORMWATER FACILITIES TO BE
PERMANENTLY PLANTED THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED
PLAN IS APPROVED BY THE BOROUGHT OF LITITZ.

OFFICE OF DEDICATION - CORPORATION
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER, PENNSYLVANIA

MY COMMISSION EXPIRES _____, 20____



817-627-6806

REVIEWS PER	
2.	BOUGH REVIEW
3.	LOGD REVIEW

[illegible]

1

group

[illegible]

REGISTERED
PROFESSIONAL
TYLER E. HILL

FINAL LAND DEV	SUB	CO
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601 E. MAIN STREET - EAST
BOROUGH OF LITTITZ, LANCASTER
CLLITITZ, I
717-863-7400

MANAGER:	MCH
DESIGNER:	MCH

DRAW

0	1
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GENERAL EROSION AND SEDIMENT CONTROL NOTES

- A. 572

FILL DETERMINATION

5. STORM-WATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY ACRES ARE STABILIZED.

- UNLESS OTHERWISE NOTED, THE LIMITS OF GRADING SHALL BE CONSIDERED THE LIMITS OF DISTURBANCE.

- SITE AT ALL TIMES.**

- DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-CONSTRUCTED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.

- FOR A FINAL INSPECTION PRIOR TO REMOVAL OF THE EMPS.

5. WHEN SEDIMENT HAS ACCUMULATED TO THE CLEAN CUT ELEVATION OR ANY STALL, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE ENTIRE THRAP/DRAIN BOTTOM.

- ORGANIC MATERIAL, LARGE STORED, AND OTHER OBJECTIONABLE MATERIALS. THE DRENCHMENT SHALL BE COMPACTED IN MAXIMUM 6" LAYERED LIFTS AT 95% DENSITY.

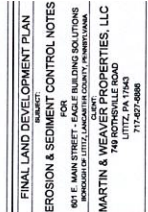
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed. Areas disturbed during removal of the BMPs must be stabilized immediately.

3. LCCO REVIEW	06/23/2023	TEH
DESIGN MASTER AND MEMBERS COMMENTS		STAGE

-
-
-
-

EA group, inc.
ENGINEERS • LANDSCAPE ARCHITECTS

743 S. BROAD ST.
LUTITZ, PA 17543
(717) 625-7271
ea@group.com



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HAGERSTOWN SILT CLAY LOAM
0 TO 15 PERCENT SLOPES

L₁ LINDSIDE SILT LOAM

[illegible]

SCALE IN FEET, 1" = 30'

REVIEWS PER:	DATE:	BY:
2. BOROUGH REVIEW	07/13/2023	MCH
3. LOD REVIEW	06/03/2023	TEH
4. PER WATER AND BOWER COMMENTS	06/09/2023	TWD
5. BOROUGH REVIEW	06/13/2023	MCH
6. NEIGH COORDINATION	02/13/2024	TEH

740 S. BROAD ST.
LUTTZ, PA 17543
(717) 628-7271
eagroup.com

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FINAL LAND DEVELOPMENT PLAN
SUBJECT:
EXISTING CONDITIONS & DEMOLITION PLAN
FOR
401 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
BOROUGH OF LITTZ, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
MARTIN & WEAVER PROPERTIES, LLC
740 ROTHSVILLE ROAD
LITZZ, PA 17543
717-427-0806

MANAGER:	MCH	DATE:	APRIL 21, 2023
DESIGNER:	MCH	PROJECT NO.	1232-002
DRAWN BY:	BUM	SCALE:	1" = 30'

EASEMENT PLAN LEGEND

PROPERTY LINE	1/2" = 1' = 20'
EASEMENT LINE	1/2" = 1' = 20'
RIGHT OF WAY LINE	1/2" = 1' = 20'
ADJACENT PROPERTY LINE	1/2" = 1' = 20'
CONCRETE CURB	1/2" = 1' = 20'
STORMWATER DRAIN	1/2" = 1' = 20'
ACCESS EASEMENT	1/2" = 1' = 20'
STORMWATER EASEMENT	1/2" = 1' = 20'
REPAIRMAN CORRIDOR	1/2" = 1' = 20'
EASEMENT	1/2" = 1' = 20'

- REPAIRMAN CORRIDOR SHALL BE MAINTAINED TO THE 100 YEAR FLOODPLAIN BOUNDARY.
- EXISTING NATIVE VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN THE REPAIRMAN CORRIDOR EASEMENT.
- ONLY NATIVE PLANT MATERIAL CAN BE PLANTED WITHIN THE REPAIRMAN CORRIDOR EASEMENT.



SCALE IN FEET: 1" = 20'

LINE	BEARING	LENGTH
E-1	N00°00'00"W	1.00'
E-2	S00°00'00"E	1.00'
E-3	N00°00'00"W	1.00'
E-4	N00°00'00"W	1.00'
E-5	N00°00'00"W	1.00'
E-6	N00°00'00"W	1.00'
E-7	N00°00'00"W	1.00'
E-8	N00°00'00"W	1.00'
E-9	N00°00'00"W	1.00'
E-10	N00°00'00"W	1.00'
E-11	N00°00'00"W	1.00'
E-12	N00°00'00"W	1.00'
E-13	N00°00'00"W	1.00'
E-14	N00°00'00"W	1.00'
E-15	N00°00'00"W	1.00'
E-16	N00°00'00"W	1.00'
E-17	N00°00'00"W	1.00'
E-18	N00°00'00"W	1.00'
E-19	N00°00'00"W	1.00'
E-20	N00°00'00"W	1.00'
E-21	N00°00'00"W	1.00'
E-22	N00°00'00"W	1.00'
E-23	N00°00'00"W	1.00'
E-24	N00°00'00"W	1.00'
E-25	N00°00'00"W	1.00'
E-26	N00°00'00"W	1.00'
E-27	N00°00'00"W	1.00'
E-28	N00°00'00"W	1.00'
E-29	N00°00'00"W	1.00'
E-30	N00°00'00"W	1.00'
E-31	N00°00'00"W	1.00'
E-32	N00°00'00"W	1.00'
E-33	N00°00'00"W	1.00'
E-34	N00°00'00"W	1.00'
E-35	N00°00'00"W	1.00'
E-36	N00°00'00"W	1.00'
E-37	N00°00'00"W	1.00'
E-38	N00°00'00"W	1.00'
E-39	N00°00'00"W	1.00'
E-40	N00°00'00"W	1.00'
E-41	N00°00'00"W	1.00'
E-42	N00°00'00"W	1.00'
E-43	N00°00'00"W	1.00'

group, inc.

ENGINEERS - LANDSCAPE ARCHITECTS

DATE: 04/21/2023

BY: [Signature]

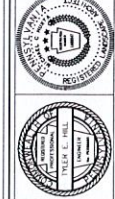
PROJECT NO: 1234567

PROJECT NAME: [Project Name]

CLIENT: [Client Name]

LOCATION: [Location]

SCALE: 1" = 20'



FINAL LAND DEVELOPMENT PLAN

FOR

EASEMENT PLAN

101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS

PROPERTY OF EAGLE BUILDING SOLUTIONS

MARTIN & WEAVER PROPERTIES, LLC

101 E. MAIN STREET

LITITZ, PA 17543

717.627.0888

MANAGER: MCH DATE: APRIL 21, 2023

DESIGNER: MCH PROJECT NO: 1234567

DRAWN BY: BLM SCALE: 1" = 20'



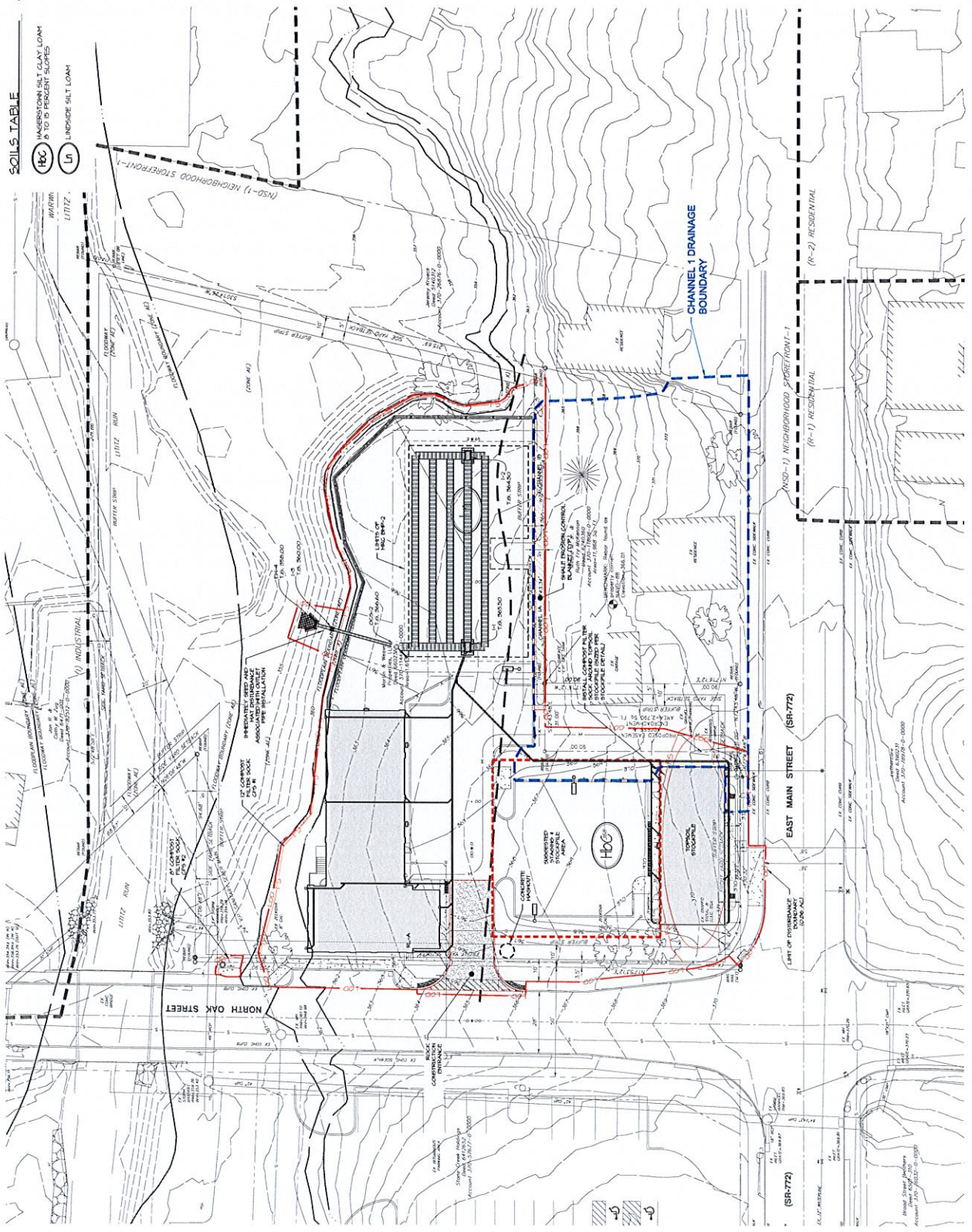
DRAWING NO.
9 of 29

SOILS TABLE

- HC HAGERSTOWN SILT CLAY LOAM
8 TO 15 PERCENT SLOPES
- Lr LINDSEY SILT LOAM

EROSION & SEDIMENT CONTROL LEGEND

- PROPOSED CONTOUR
- EXISTING STORM DRAINAGE PIPING
- PROPOSED STORM DRAINAGE PIPING
- EXISTING OVERHEAD ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- EXISTING GAS LINE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY FORCE MAIN
- EXISTING WATER LINE
- LIMIT OF DISTURBANCE
- LIMIT OF STORM AREA
- EROSION CONTROL
- INLET PROTECTION
- CONCRETE MANHOLE
- ASPHALT MANHOLE
- WATERSHED GUTTER
- ROCK CONSTRUCTION
- ENTRANCE
- UPPER STOCKPILE
- LOWER STOCKPILE
- LIMIT OF DISTURBANCE = 0.91 AC.

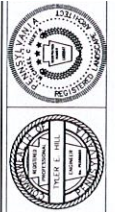


SCALE IN FEET, 1" = 20'

REVISIONS FOR	DATE	BY
1. PRELIMINARY	08/05/2023	MCH
2. PERMITS AND EROSION CONTROL	08/05/2023	MCH
3. REVISIONS	08/05/2023	MCH
4. REVISIONS	08/05/2023	MCH

100 S. BROAD ST.
LITITZ, PA 17543
TEL: 717.467.4888
www.ea-group.com

EA group, inc.
ENGINEERS - LANDSCAPE ARCHITECTS

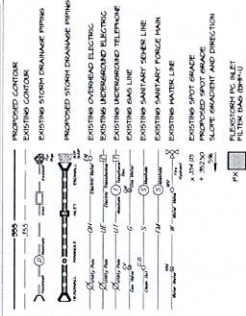


FINAL LAND DEVELOPMENT PLAN
FOR
EROSION & SEDIMENT CONTROL PLAN
801 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
PROPERTY OF LITITZ COUNTY, PENNSYLVANIA
CLIENT
MARTIN & WEAVER PROPERTIES, LLC
100 S. BROAD ST.
LITITZ, PA 17543
717.467.4888

MANAGER	MCH	DATE	APRIL 27, 2023
DESIGNER	MCH	PROJECT NO.	1232-002
DRAWN BY	BLM	SCALE	1" = 20'

DRAWING NO.
10 of 29

GRADING LEGEND

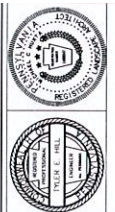


SCALE IN FEET 1" = 20'

REVISIONS PER	DATE	BY:
1. PRELIMINARY	06/05/2023	MM
2. LOCAL REVIEW	06/05/2023	MM
3. PER WATER AND SEWER COMMISSION	06/05/2023	MM
4. RECORD DRAWING	06/05/2023	MM
5. PER APPROVATION	06/05/2023	MM

FA
group, inc.
 ENGINEERS • LANDSCAPE ARCHITECTS

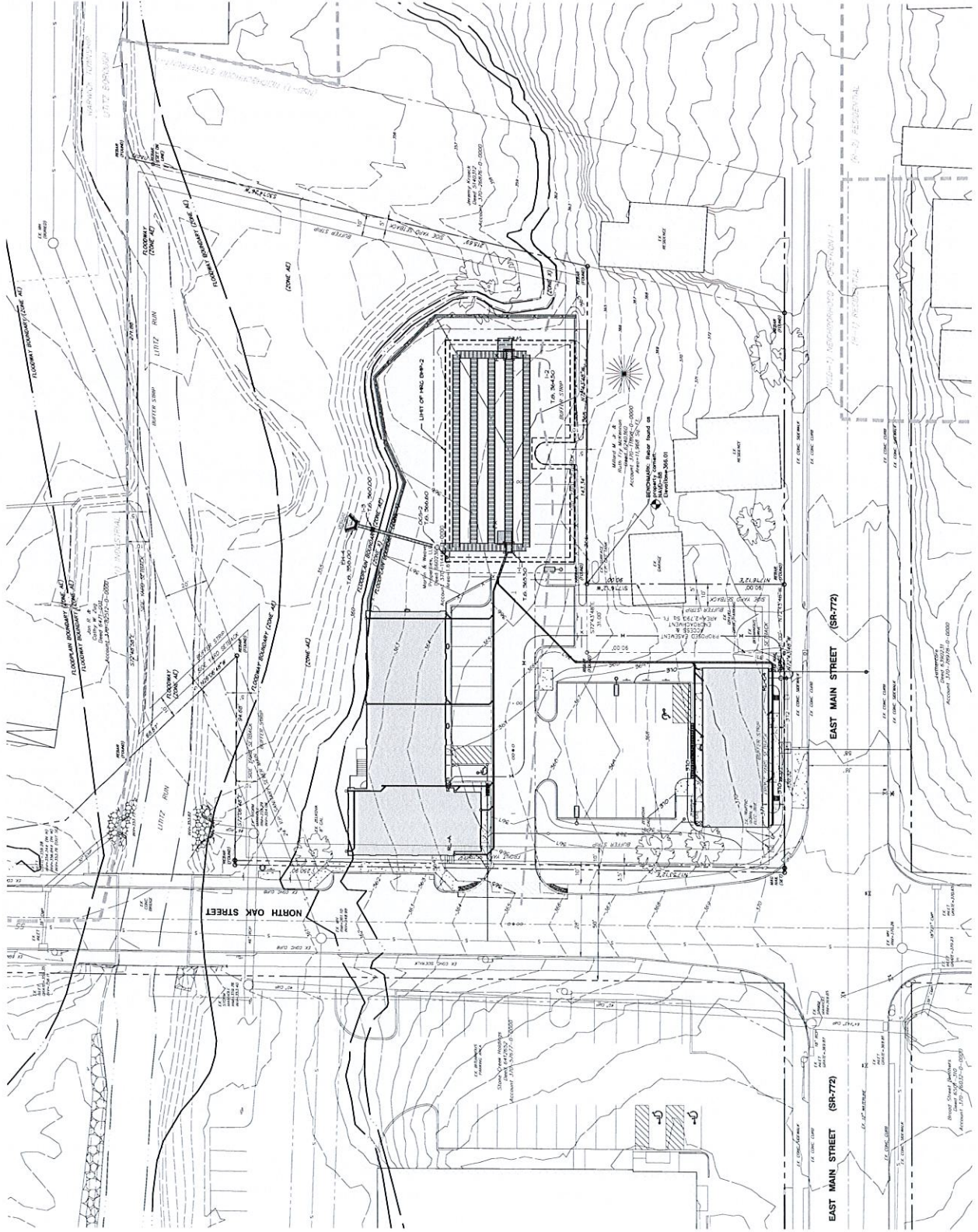
TALLIE B. BROWN, P.E.
 LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 11111
 PENNSYLVANIA



FINAL LAND DEVELOPMENT PLAN
 FOR
PCSM PLAN
 401 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
 CLIENT: MARTIN & WEAVER PROPERTIES, LLC
 11111 PENNSYLVANIA
 LITITZ, PA 17433
 717-427-0888

MANAGER:	MM	DATE:	APRIL 21, 2023
DESIGNER:	MM	PROJECT NO.:	1232-002
DRAWN BY:	MM	SCALE:	1" = 20'

DRAWING NO.
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UTILITY LEGEND

	EXISTING STORM DRAINAGE PIPING
	PROPOSED STORM DRAINAGE PIPING
	EXISTING OVERHEAD ELECTRIC
	PROPOSED OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE



SCALE IN FEET: 1" = 20'

REVISIONS FOR	DATE	BY
1. LOCATION REVIEW	07/20/2021	MCH
2. PERMITS	08/02/2021	MCH
3. PERMITS	08/02/2021	MCH
4. PERMITS	08/02/2021	MCH
5. PERMITS	08/02/2021	MCH
6. PERMITS	08/02/2021	MCH
7. PERMITS	08/02/2021	MCH

THIS IS A PRELIMINARY DESIGN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL FIELD DATA. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE UTILITY SYSTEMS SHOWN ON THIS SHEET.

EIA group, inc.
ENGINEERS - LANDSCAPE ARCHITECTS

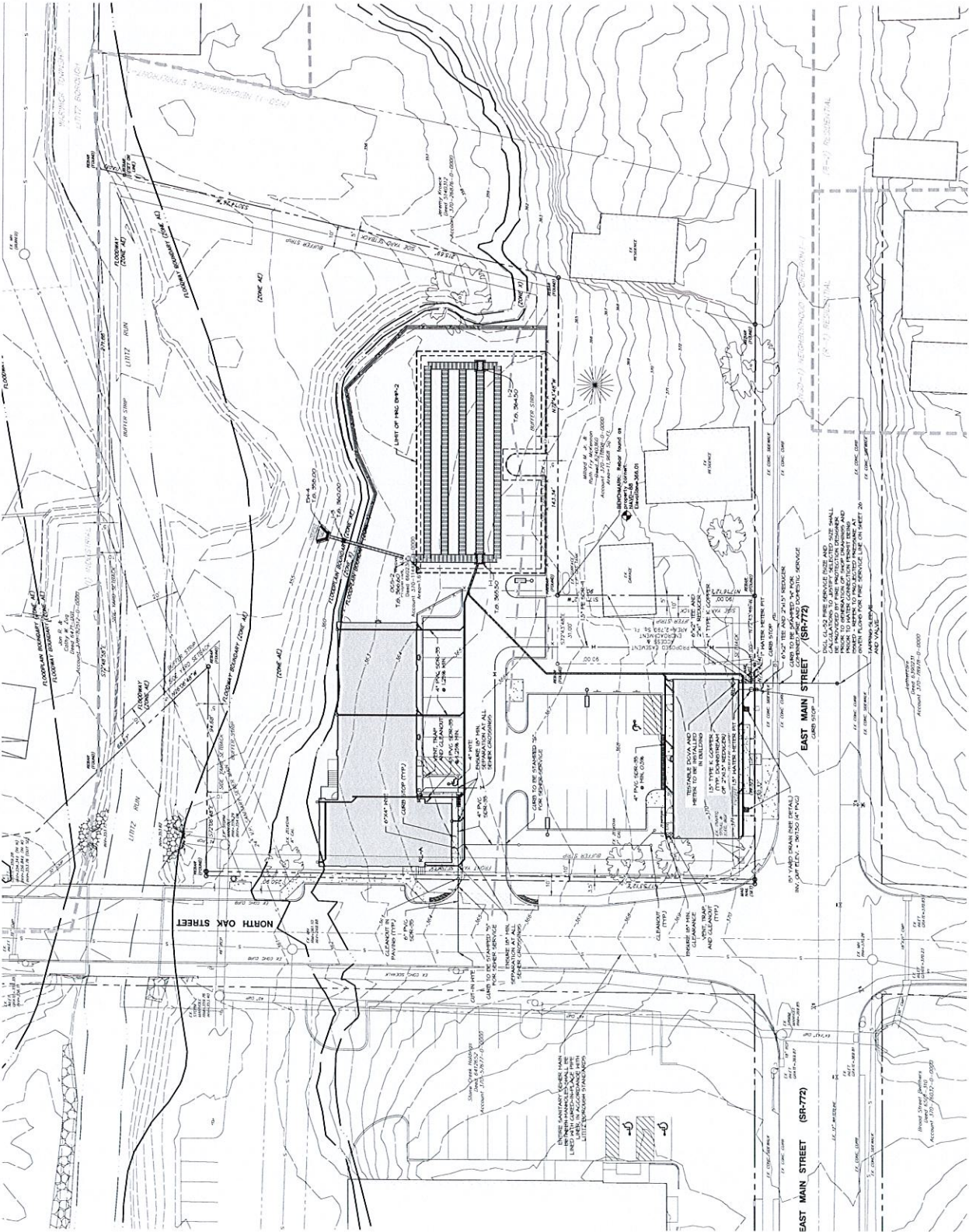
700 S. BROAD ST.
LITITZ, PA 17540
TEL: 717.627.4800
WWW.EIAGROUP.COM



FINAL LAND DEVELOPMENT PLAN
FOR
UTILITY PLAN
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
PROPERTY OF LITITZ & WEAVER PROPERTIES, LLC
CLIENT
MARTIN & WEAVER PROPERTIES, LLC
101 E. MAIN STREET
LITITZ, PA 17540
717.627.4800

MANAGER:	MCH	DATE:	APRIL 27, 2023
DESIGNER:	MCH	PROJECT NO.:	1232-002
DRAWN BY:	BLM	SCALE:	1" = 20'

DRAWING NO.
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SPERMATOPHYTES	GYM.	CONIFERALS	ANGIOSPERMS	REMARKS
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PLANT	PLANTING	DATE	BOYDANIAN NAME	BOYDANIAN NAME	DATE	COOPERATIVE	COOPERATIVE	REMARKS
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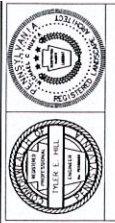
1. TO BE SPECIES SHALL COMPRISE MORE THAN 50% OF THE ENTIRE NUMBER OF PLANTS IN A LANDSCAPE PLAN.
2. STREET TREES SHALL TYPICALLY BE SELECTED FROM THE LISTED DOWNTOWN STREET TREE LIST.
3. ALL STREET TREES ALONG MAIN STREET AND NORTH GARD STREET ARE REQUIRED TO BE REPLACED WITH STRONG-BRANCHED, SMALL, SEE DETAIL BELOW.
4. ALL TREES ALONG MAIN STREET AND NORTH GARD STREET LABELED "STREET TREE" ARE REQUIRED TO BE MAINTAINED BY THE OWNER AND SHALL BE REPLACED IF THE TREE IS DAMAGED OR DEAD.
5. STREET TREES OUTSIDE THE ZONAS AND PROVIDED WITH AN EMBEDED ALLEYS ACCESS TO THE TREE BE THE DOWNTOWN FOR IMPROVEMENT.
6. STREET TREE CARE AND MAINTENANCE AND THE RESPONSIBILITY OF THE PROPERTY OWNER, NOT THE DOWNTOWN OF LITTLE ROCK.

PARKING ISLAND AND OPEN SPACE REQUIREMENTS

WHERE PARKING LOTS ARE DESIGNED FOR MORE THAN 10 SPACES A MINIMUM OF 5% OF THE TOTAL AREA MUST BE LANDSCAPED AND CONTINUALLY MAINTAINED.

ARMING SIZE = 10,000 SF
REQUIRED OPEN SPACE = 300 SF

REVISIONS PER:		DATE:	BY:
2	ROUGH REVIEW	8/13/2023	MCH
3	LCED REVIEW	06/02/2023	TEH
4	PER WATER AND S/WIR COMMENTS	06/26/2023	TWD
5	ROUGH REVIEW	08/13/2023	MCH
6	REP COORDINATION	02/13/2024	TEH



FINAL LAND DEVELOPMENT PLAN
SUBJECT: LANDSCAPING PLAN

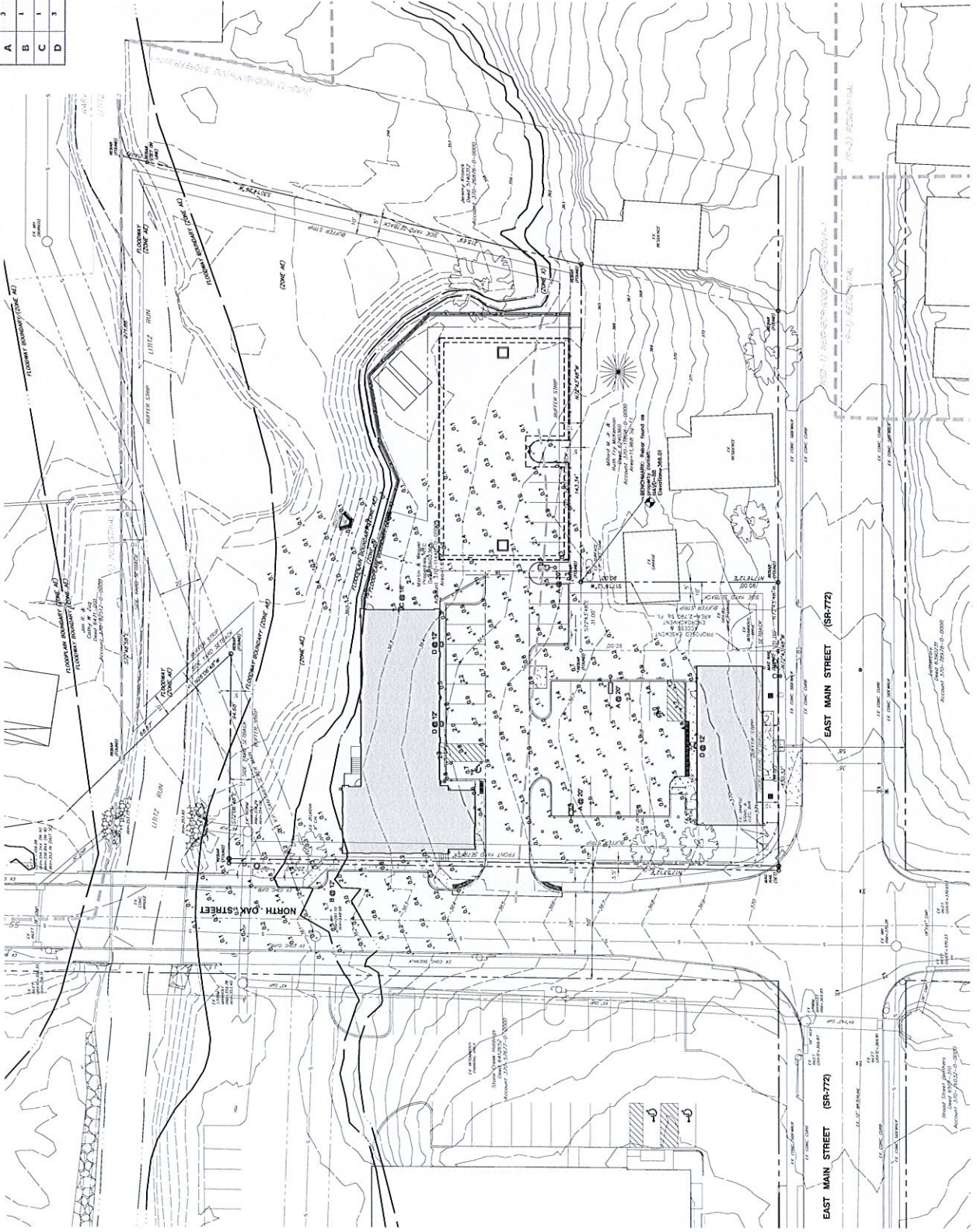
FOR
801 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
BOROUGH OF LITITZ, LANCASTER COUNTY, PENNSYLVANIA

MARTIN & WEAVER PROPERTIES, LLC
749 ROTHSVILLE ROAD
LITITZ, PA 17543
717-427-8886

MANAGER:	MCH	DATE:	APRIL 21, 2023
DESIGNER:	MCH	PROJECT NO.	1232-002
DRAWN BY:	BLM	SCALE:	AS NOTED

DRAWING NO.
13 of 29

Schedule	QTY	Measurement	Comments
A	3	BAZON	100' x 100' x 10' BAZON
B	1	ARCHITECTURAL AREA	100' x 100' x 10' BAZON
C	1	END	100' x 100' x 10' BAZON
D	3	END	100' x 100' x 10' BAZON



- NOTES:
1. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 2. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 3. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 4. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 5. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 6. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 7. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 8. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 9. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
 10. THE LIGHTING LAYOUT, INCLUDING ALL FIXTURES, SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL. THE LIGHTING LAYOUT SHALL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.

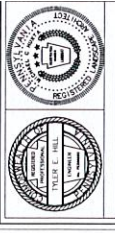


SCALE IN FEET: 1" = 20'

REVISIONS PER	DATE	BY:
1. PRELIMINARY	10/1/2024	MM
2. LAYOUT	10/1/2024	MM
3. LAYOUT	10/1/2024	MM
4. PRELIMINARY	10/1/2024	MM
5. LAYOUT	10/1/2024	MM
6. LAYOUT	10/1/2024	MM

EIA group, inc.
ENGINEERS • LANDSCAPE ARCHITECTS

100 S. BROAD ST.
LITITZ, PA 17543
TEL: 717.326.1111
WWW.EIAGROUPINC.COM

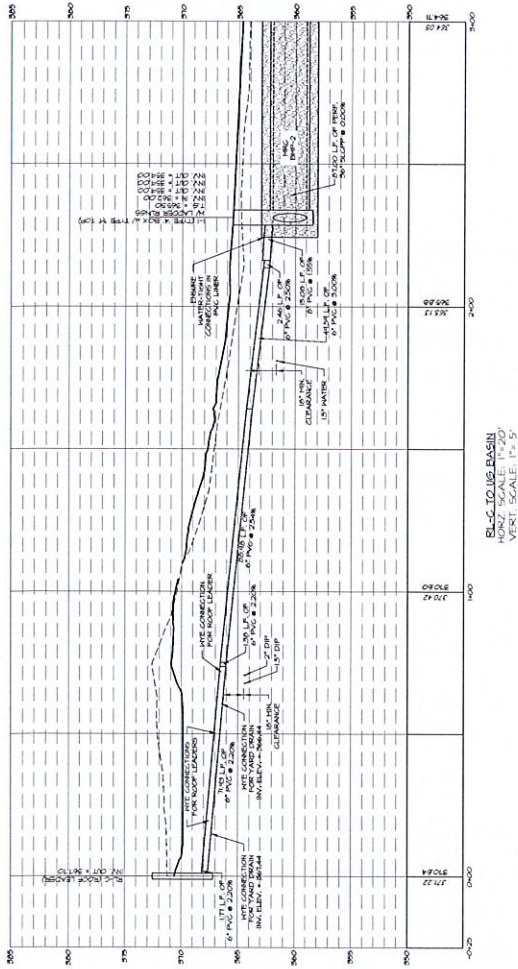
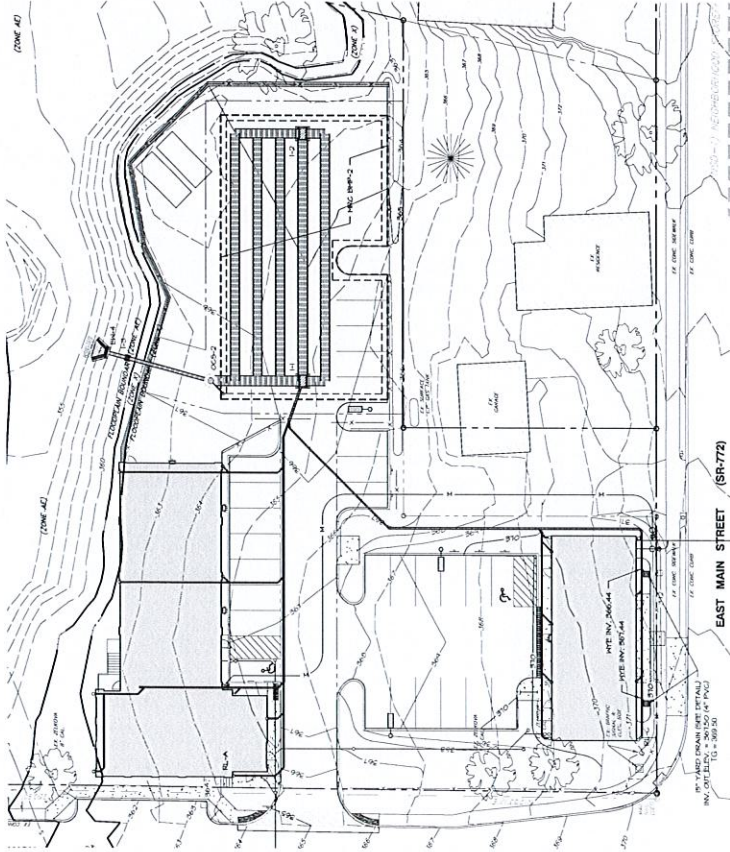


FINAL LAND DEVELOPMENT PLAN
FOR
LIGHTING PLAN

801 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
LITITZ, PA 17543
CLIENT: EAGLE BUILDING SOLUTIONS
PROJECT: 2024-001
DATE: 10/1/2024
DRAWN BY: MM

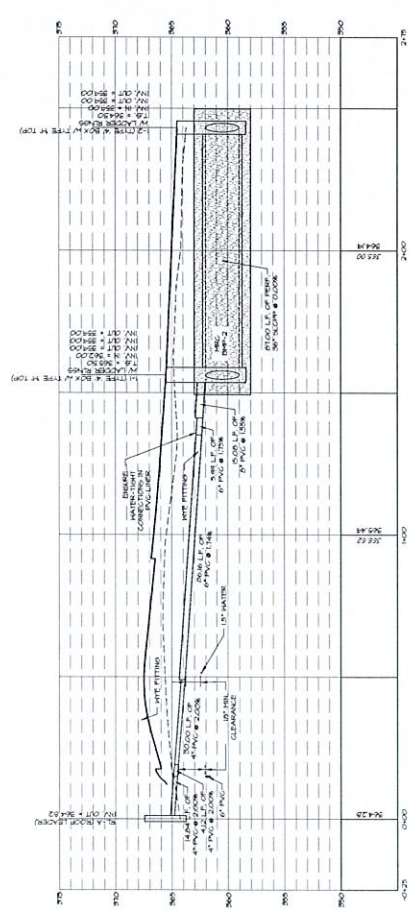
MANAGER: MM DATE: APRIL 21, 2023
DESIGNER: MM PROJECT NO: 123-002
DRAWN BY: MM SCALE: 1" = 20'

DRAWING NO:
14 of 29

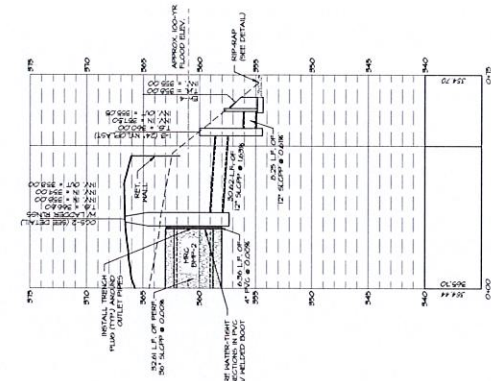


SCALE IN FEET: 1" = 20'

EAST MAIN STREET (SR-772)



SLA TO LVS BASIN
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 5'



SLA TO LVS BASIN
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 5'

- NOTES:
1. ALL DIMENSIONS SHALL BE PROVIDED IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE PROVIDED IN FEET AND INCHES.

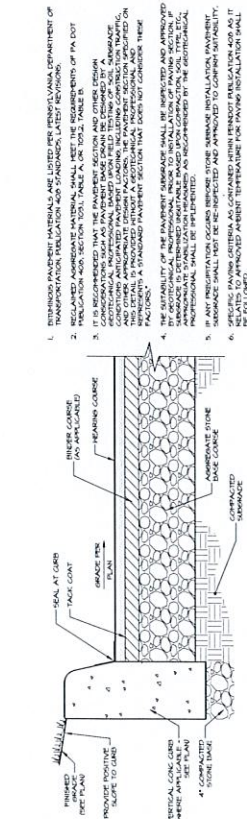
REVISIONS PER	DATE	BY
1. PRELIMINARY	01/20/2021	MDH
2. PRELIMINARY	01/20/2021	MDH
3. PRELIMINARY	01/20/2021	MDH
4. PRELIMINARY	01/20/2021	MDH
5. PRELIMINARY	01/20/2021	MDH
6. PRELIMINARY	01/20/2021	MDH
7. PRELIMINARY	01/20/2021	MDH
8. PRELIMINARY	01/20/2021	MDH
9. PRELIMINARY	01/20/2021	MDH
10. PRELIMINARY	01/20/2021	MDH



FINAL LAND DEVELOPMENT PLAN
FOR
STORMWATER PLAN & PROFILES
FOR
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
101 E. MAIN STREET - EAGLE BUILDING SOLUTIONS

MANAGER:	MDH	DATE:	APRIL 27, 2023
DESIGNER:	MDH	PROJECT NO.:	13392
DRAWN BY:	MDH	SCALE:	1" = 20'

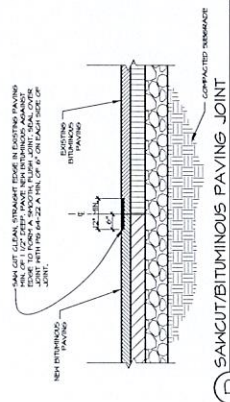
DRAWING NO.



TYPE	THICKNESS	COMPACTION	AGGREGATE BASE COURSE	LOCATION
A	1.5"	15"	2A MODIFIED	PARKING AREAS
B	2"	2"	2A MODIFIED	ROAD RESTORATION
C	1.5"	15"	2A MODIFIED	ROAD RESTORATION

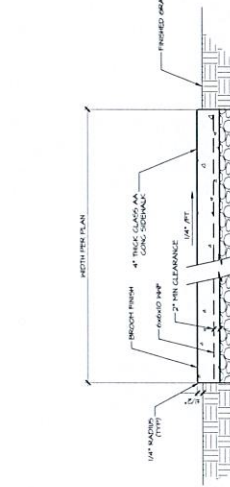
A BITUMINOUS PAVEMENT SECTION / SCHEDULE

NO SCALE



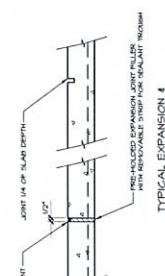
D SAKOUT/BITUMINOUS PAVING JOINT

NO SCALE



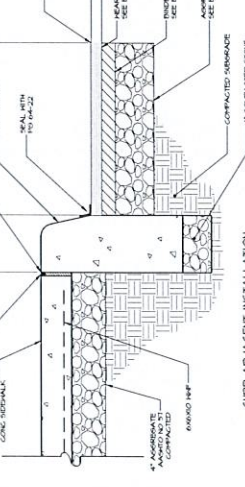
E OPEN AREA INSTALLATION

NO SCALE



F TYPICAL EXPANSION JOINT

NO SCALE



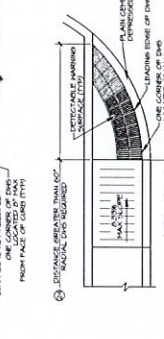
C CONCRETE SIDEWALK DETAIL

NO SCALE



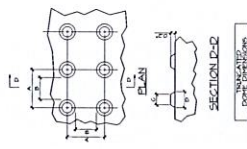
B DETECTABLE MARKING SURFACE (DMS)

NO SCALE



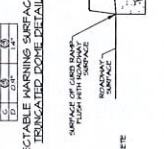
C DETECTABLE MARKING SURFACE (DMS)

NO SCALE



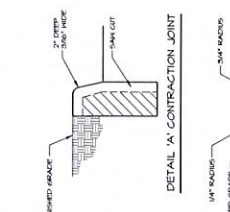
D DETECTABLE MARKING SURFACE (DMS)

NO SCALE



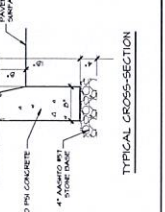
E DETECTABLE MARKING SURFACE (DMS)

NO SCALE



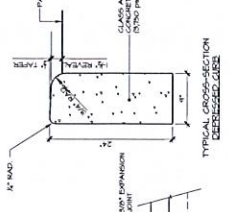
F DETECTABLE MARKING SURFACE (DMS)

NO SCALE



G DETECTABLE MARKING SURFACE (DMS)

NO SCALE



H DETECTABLE MARKING SURFACE (DMS)

NO SCALE

NO SCALE

E DEPRESSED CURB DETAIL FOR DRIVES

NO SCALE

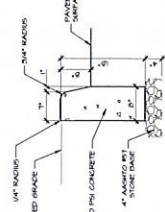
C CONCRETE SIDEWALK DETAIL

NO SCALE

- NOTES:**
1. DETECTABLE MARKING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DETECTABLE MARKING SURFACE SPECIFICATION.
 2. DETECTABLE MARKING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DETECTABLE MARKING SURFACE SPECIFICATION.
 3. DETECTABLE MARKING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DETECTABLE MARKING SURFACE SPECIFICATION.
 4. DETECTABLE MARKING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DETECTABLE MARKING SURFACE SPECIFICATION.
 5. DETECTABLE MARKING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE DETECTABLE MARKING SURFACE SPECIFICATION.

DETAIL 'A' CONTRACTION JOINT

NO SCALE

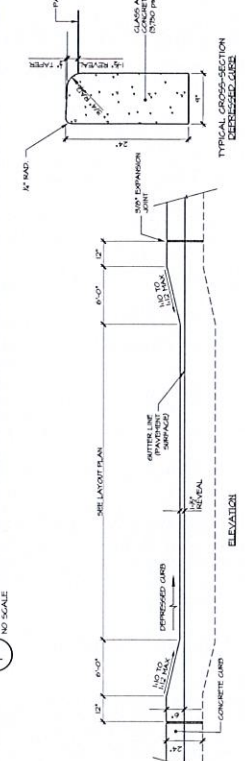


TYPICAL CROSS-SECTION

NO SCALE

F PADOT TYPE CONCRETE VERTICAL CURB

NO SCALE



E DEPRESSED CURB DETAIL FOR DRIVES

NO SCALE

C CONCRETE SIDEWALK DETAIL

NO SCALE

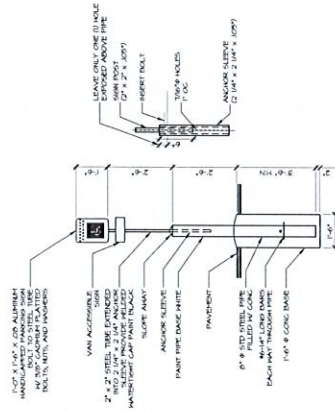
group, inc.
ENGINEERS • LANDSCAPE ARCHITECTS

DATE: 10/1/2023
BY: J. L. BROWN
CHECKED: J. L. BROWN
DESIGNED: J. L. BROWN
PROJECT NO: 2023-002
SHEET NO: 10/1/2023
SHEET TOTAL: 10/1/2023

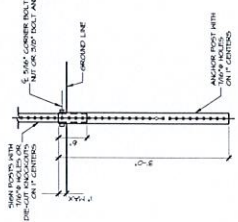


FINAL LAND DEVELOPMENT PLAN
FOR
SITE DETAILS
801 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
CLARK COUNTY, INDIANA
MARTIN & NEAVEY PROPERTIES, LLC
11111 E. MAIN STREET
LITITZ, PA 17433
717-457-6888

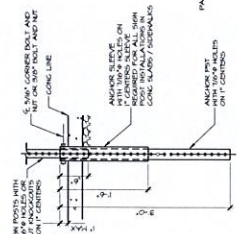
MANAGER: MCH DATE: APRIL 21, 2023
DESIGNER: MCH PROJECT NO: 1234-002
DRAWN BY: MCH SCALE: AS SHOWN



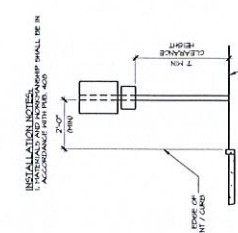
A VAN ACCESSIBLE PARKING SIGN
NO SCALE



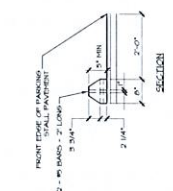
INSTALLATION DETAIL.
(STANDARD)



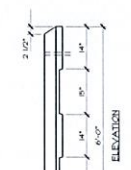
INSTALLATION DETAIL
(CONCRETE)



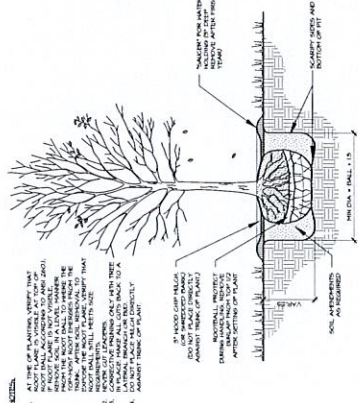
INSTALLATION DETAIL
(CONCRETE)



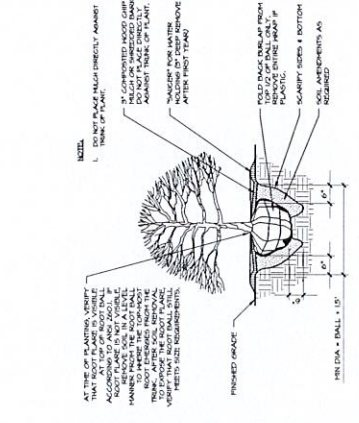
E WHEEL STOP DETAIL
NO SCALE



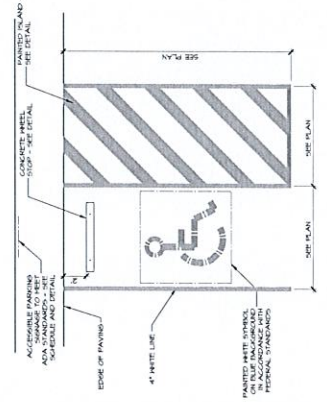
E WHEEL STOP DETAIL
NO SCALE



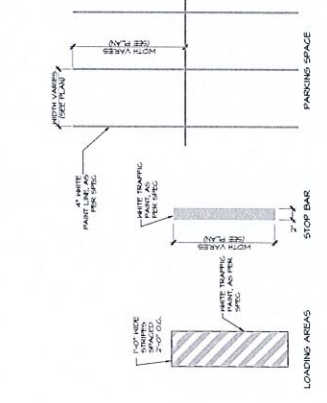
F DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



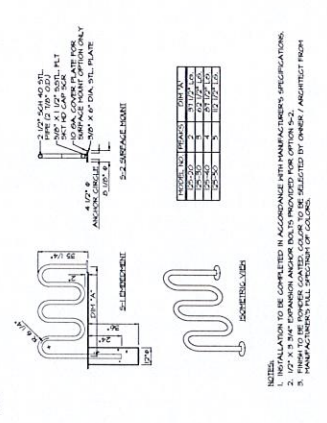
SHRUB PLANTING DETAIL



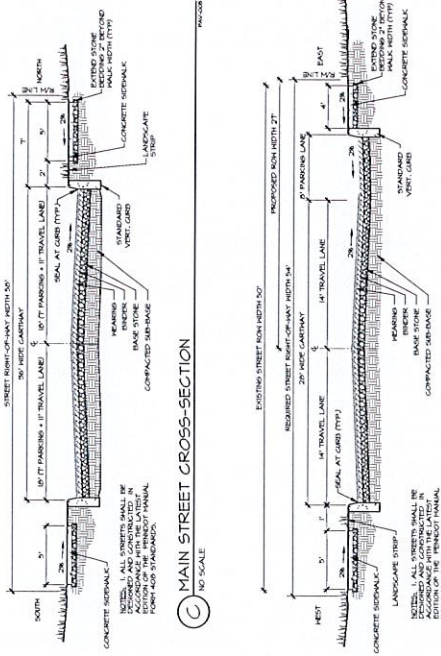
H ADA PARKING SPACE
NO SCALE



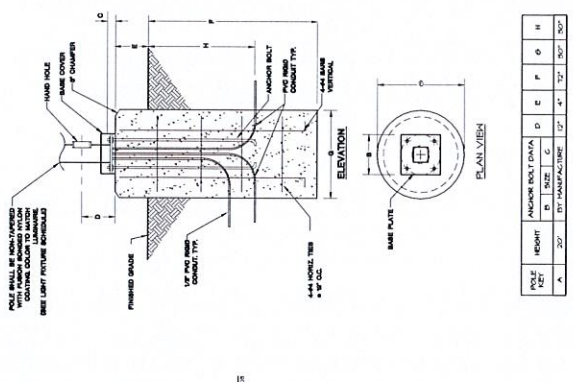
PAVEMENT MARKING DETAIL



DUMOR BIKE RACK
 NO SCALE



C MAIN STREET CROSS-SECTION
NO SCALE



POLE BASE DETAIL

POLE KEY	HEIGHT	ANCHOR BOLT DATA			D	E	F	Ø	H
		B	SIZE	C					
A	20"	BY MANUFACTURE			12"	4"	72"	50"	50"

REVISIONS PER:	DATE:	BY:
1. PRELIMINARY REVIEW	01/09/2023	MMH
2. LOGIC CHECK	01/09/2023	MMH
3. FIRM WATER AND SANITARY COMMENTS	06/09/2023	TYM
4. PRELIMINARY REVIEW	06/09/2023	MMH
5. PRELIMINARY REVIEW	06/09/2023	MMH
6. MEET CLOSURE/NOTES	06/09/2023	TYM



EPA
group, inc.
ENGINEERS - LANDSCAPE ARCHITECTS

743 S. BRAD ST.
LITTLE ROCK, AR 72202
501-782-1100
info@epagroup.com
www.epagroup.com




FINAL LAND DEVELOPMENT PLAN

SUBJECT:

SITE DETAILS

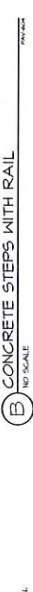
691 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
SCHOOL OF LITTLE ROCK COUNTY, ARKANSAS
CLIENT:

MARTIN & WEAVER PROPERTIES, LLC
1000 S. MAIN STREET
743 LITTLE ROCK, AR 72202
717-457-5698

MANAGER:	MMH	DATE:	APRIL 21, 2023
DESIGNER:	MMH	PROJECT NO.:	1252-002
DRAWN BY:	BLM	SCALE:	AS SHOWN

DRAWING NO.

17 of 29

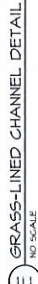


B CONCRETE STEPS WITH RAIL



INSIDE TO OPEN





• OR APPROVED EQUAL.

NOTES:

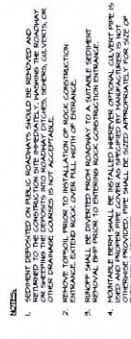
1. CHANNELS SHALL BE REPAIRED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LOG CHANNELS.

2. CHANNELS WITH EXCESSIVE WEAR OR DAMAGED CHANNELS SHALL BE CLEANED.

3. CHANNELS WITH EXCESSIVE WEAR OR DAMAGED CHANNELS SHALL BE REPLACED. WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 20% AT ANY LOCATION, OR AN ASH OR SILT DEPOSIT DEPTH SHALL BE EXCEEDED WITHIN 24 HOURS OF DISCHARGE, OR AN ASH OR SILT DEPOSIT SHALL BE EXCEEDED WITHIN 24 HOURS OF DISCHARGE, DAMAGED CHANNELS SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCHARGE.

4. NO MORE THAN ONE THIRD OF THE SHOULDER (GRASS) LEAST SHALL BE REMOVED AT ANY LOCATION.

5. CHANNELS SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES INSIDE EXISTING SHOULDER HEIGHTS. VEGETATION SHALL BE REMOVED FROM FRESHMENT CHANNELS TO ENSURE SUFFICIENT



ROCK CONSTRUCTION ENTRANCE
NO SCALE

EA group, inc.
ENGINEERS • LANDSCAPE ARCHITECTS

743 S. BRIDGES ST.
LITITZ, PA 17543
(717) 685-7271
engrgrp.com

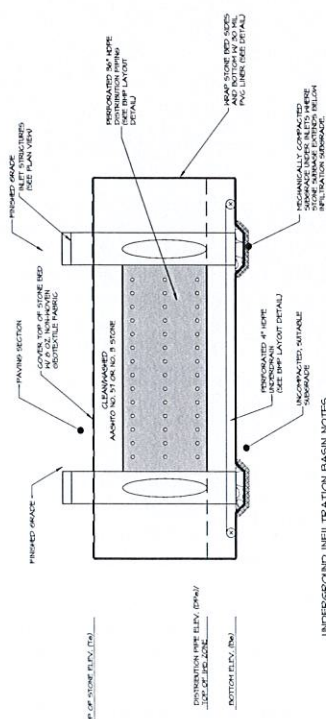


SUBJECT:
ESC DETAILS

601 E. MAIN STREET • EAGLE BUILDING SOLUTIONS
BOROUGH OF LITITZ, LANCASTER COUNTY, PENNSYLVANIA

CLIENT:
MARTIN & WEAVER PROPERTIES, LLC
749 ROTHSVILLE ROAD
LITITZ, PA 17543

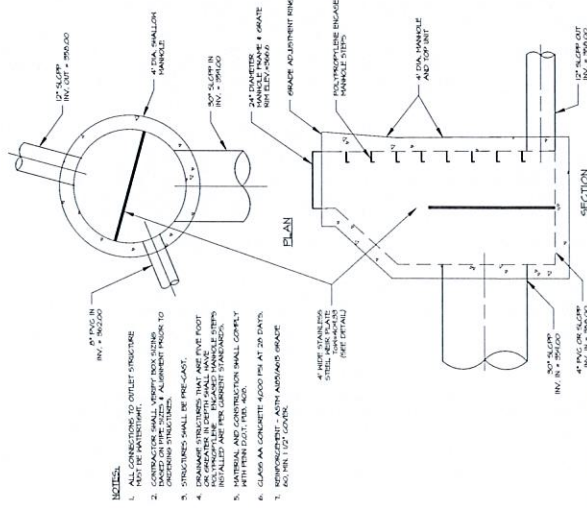
MANAGER:	MCH	DATE:	APRIL 21, 2023
DESIGNER:	MCH	PROJECT NO.	1232-002
DRAWN BY:	BLM	SCALE:	AS SHOWN



- UNDERGROUND INFILTRATION BASIN NOTES**
1. ALL UNDERGROUND INFILTRATION BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 2. ALL UNDERGROUND INFILTRATION BASINS SHALL HAVE A MINIMUM OF 18" OF COVER OVER THE TOP OF THE BASIN.
 3. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 4. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 5. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.

SUBSURFACE MRC FACILITY SCHEDULE			
ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
2	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
3	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
4	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
5	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
6	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
7	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
8	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
9	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA
10	18" DIA. PRECAST CONCRETE INFILTRATION BASIN	1	EA

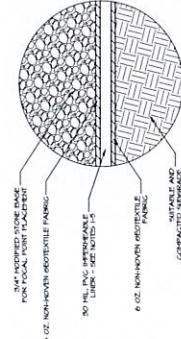
A TYPICAL SUBSURFACE MRC FACILITY CROSS SECTION



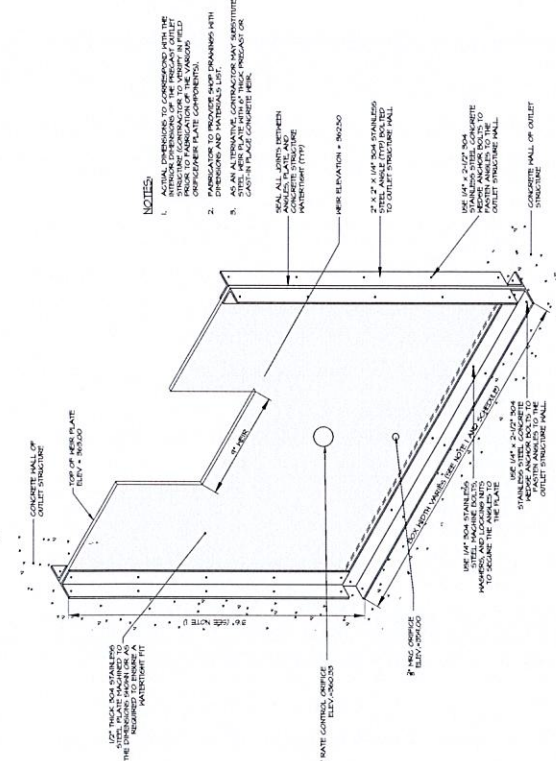
- NOTES**
1. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 2. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 3. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
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 5. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.

C CCS 2 DETAIL

- LIBRARY NOTES**
1. THE INFORMATION OF THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 2. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
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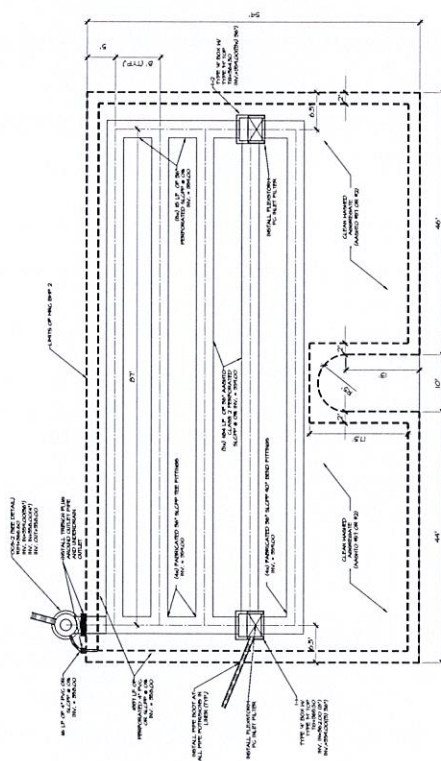


D PVC LINER DETAIL



- NOTES**
1. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
 2. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.
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 5. THE INFILTRATION BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND REQUIREMENTS.

B MRC BMP 2 ORIFICE/MEIR PLATE DETAIL



E MRC BMP 2 LAYOUT DETAIL

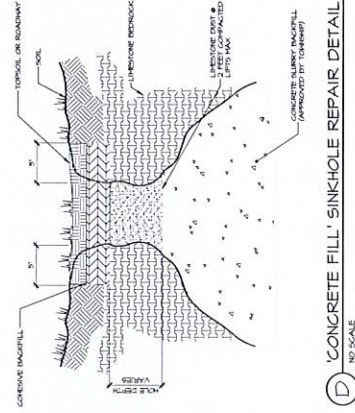
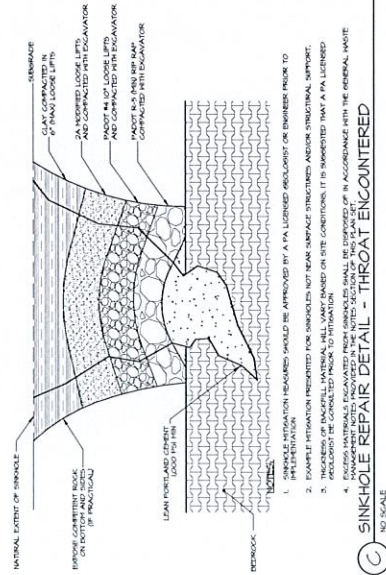
REVISIONS PER	DATE	BY
1. DESIGN	11/11/2021	MM
2. LOD REVIEW	11/11/2021	MM
3. PER WATER AND SEWER COMMENTS	11/11/2021	MM
4. DRAINAGE REVIEW	11/11/2021	MM
5. BMP CONSTRUCTION	11/11/2021	MM

THIS IS A BROAD ST. LITTLE PA 17433
group, inc.
 ENGINEERS - LANDSCAPE ARCHITECTS

FINAL LAND DEVELOPMENT PLAN
 FOR
 801 E. MAIN STREET, LITTLE ROCK, AR 72202
 MARTIN & WEATHERS PROPERTIES, LLC
 1410 N. MAIN STREET, LITTLE ROCK, AR 72202
 LITTLE ROCK, AR 72202
 717.627.0888

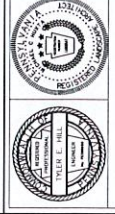
MANAGER: MMH DATE: APRIL 21, 2022
 DESIGNER: MMH PROJECT NO.: 1232-00
 DRAWN BY: BLM SCALE: AS SHOWN

DRAWING NO. **24 of 29**

[illegible]

743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

EA group, inc.
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FINAL LAND DEVELOPMENT PLAN	SUBJECT:	STORMWATER DETAILS	FOR	601 E. MAIN STREET - EAGLE BUILDING SOLUTIONS BOROUGH OF LITITZ, LANCASTER COUNTY, PENNSYLVANIA	CLIENT:	MARTIN & WEAVER PROPERTIES, LLC 749 ROTHSVILLE ROAD LITITZ, PA 17543 717-427-4086

MANAGER:	MCH	DATE:	APRIL 21, 2022
DESIGNER:	MCH	PROJECT NO.	1233-003
DRAWN BY:	BUM	SCALE:	AS SHOWN

EXISTING LEGEND

ADJACENT PROPERTY LINE	ADJACENT PROPERTY LINE
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
BASEMENTS	BASEMENTS
INTERMEDIATE CONCERN	INTERMEDIATE CONCERN
CAUTION	CAUTION
CAUTION	CAUTION
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
SANITARY SEWER LINE	SANITARY SEWER LINE
SANITARY FORCE MAIN	SANITARY FORCE MAIN
WATER LINE	WATER LINE
STORM DRAINAGE PIPING	STORM DRAINAGE PIPING
FENCE	FENCE
GRADE MAIL	GRADE MAIL
PERMITS FOR CONDUITS	PERMITS FOR CONDUITS
PERMITS FOR FLOODPLAIN	PERMITS FOR FLOODPLAIN
TREE LINE	TREE LINE
DECIDUOUS TREES	DECIDUOUS TREES
CONIFEROUS TREES	CONIFEROUS TREES
TRAILING SIGNAL POLE	TRAILING SIGNAL POLE
TRAILING SIGNAL POLE	TRAILING SIGNAL POLE
TRAILING SIGNAL POLE	TRAILING SIGNAL POLE
REFLECTOR POST	REFLECTOR POST



SCALE IN FEET: 1" = 30'



REVISIONS	DATE	BY
1. INITIAL DESIGN	04/20/2023	TEA
2. LAYOUT REVIEW	04/20/2023	TEA
3. LAYOUT REVIEW	04/20/2023	TEA
4. PRELIMINARY REVIEW COMMENTS	04/20/2023	TEA
5. PRELIMINARY REVIEW	04/20/2023	TEA
6. PRELIMINARY REVIEW	04/20/2023	TEA

740 S. BROAD ST.
LITTLE ROCK, AR 72201
(501) 221-7771
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FINAL LAND DEVELOPMENT PLAN
PREDEVELOPMENT
FOR
801 E MAIN STREET - 2ND FLOOR ADDITION
MARTIN & WEAVER PROPERTIES, LLC
LITTLE ROCK, AR 72201
LITTLE ROCK, AR 72201
717-627-0888

MANAGER	MOH	DATE	APRIL 21, 2023
DESIGNER	MOH	PROJECT NO.	1233-06
DRAWN BY	BLM	SCALE	1" = 30'

DRAWING NO.

28 of 29

SOILS TABLE

1	WATERBURY SILT CLAY LOAM
2	5% TO 15% SILT CLAY
3	LINCOLN SILT LOAM



[illegible]

REVIEWS PER:	DATE:	BY:
2. BOROUGH REVIEW	05/11/2023	MC
3. LODD REVIEW	06/03/2023	TE
4. PIER WATER AND SEWER COMMENTS	06/06/2023	TH
5. BOROUGH REVIEW	06/12/2023	MC
6. MEET COORDINATION	08/13/2024	TE

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LITITZ, PA 17543
(717) 628-1271
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FINAL LAND DEVELOPMENT PLAN
SUBJECT:
POST-DEVELOPMENT

FOR
801 E. MAIN STREET - EAGLE BUILDING SOLUTIONS
BOROUGH OF LITITZ, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
MARTIN & WEAVER PROPERTIES, LL
740 ROTHSVILLE ROAD
LITITZ, PA 17543
717-627-0006

MANAGER:	MCH	DATE:	APRIL 21, 2011
DESIGNER:	MCH	PROJECT NO.	1232-0-0
DRAWN BY:	BLM	SCALE:	1" = 2'

DRAWING NO.
29 of 29

